

LAKE SIDE

AT MANOR LAKES

Design Guidelines
Version 3 - September 2018



Life in perspective



Table of contents

01

Introduction 04

05

Vehicle storage 16

02

Lot classification 06

06

General 17

03

Urban design principles 07

07

Landscaping 19

04

Colours & materials 14

08

Design panel approval 20





01

Introduction

A FOCUS ON CONTEMPORARY URBAN DESIGN

Lakeside is a premier new waterside residential neighbourhood perfectly positioned within the established community of Manor Lakes.

Designed with respect for the environment and with the needs of the community at the forefront, the development masterplan has seen Manor Lakes become one of Melbourne's most engaged and successful residential communities.

The overall masterplan design encompasses several distinct residential neighbourhoods, such as Lakeside, each designed to celebrate the distinct geographical, historical and botanical features of Manor Lakes.

Lakeside features over 30 hectares of dedicated open space balanced between existing natural waterways, formal landscaped parklands and informal open space including wetlands, lakeside parks and walking paths. The urban landscape is designed to maximise view lines and proximity to the waterways, encouraging engagement and connection within the community, as well as fitness, play and natural discovery.

As the developer, we want to ensure your home, street and new community, are just as you had envisaged. The Lakeside Design Guidelines have specifically been created to reassure residents, that in the built form, the consistent high standard of homes and harmony of the streetscapes within this premium neighbourhood, meet their original vision.

APPROVAL PROCEDURE FOR PLANS

All the information Purchasers (or their builder) will require is specified in three documents; the Lakeside Design Guidelines, a Memorandum of Common Provisions (MCP), and the plan of subdivision, incorporating Building Envelope Plans (BEPs).

Memorandum of Common Provisions (MCP)

A registered Memorandum of Common Provisions (MCP) is applicable to all lots at Lakeside. The MCP will simplify the process of securing building approval by putting in place a common set of rules that will take precedence over certain sections of the Building Regulations.

The MCP will remove your obligation to secure Report and Consent approval from the City of Wyndham for certain design items that do not comply with the Building Regulations.

The Lakeside Design Panel will provide information and advice to purchasers and landowners at Lakeside regarding the Design Guidelines.

Early contact with the Lakeside Design Panel is recommended and will avoid unnecessary delay caused by non-compliance with the Design Guidelines. In particular, advice can be provided at the initial concept plan stage and during the preliminary selection of materials, colours and finishes.

Advice can be sought from the Lakeside Design Panel by phoning **9573 1100**

Plans should be emailed to: **designpanel@denniscorp.com.au**

If unable to email, plans should be sent to:
Lakeside – Design Panel
Dennis Family Corporation
211 Waverley Road
Malvern East VIC 3145

In deciding whether plans comply with the Design Guidelines, the Lakeside Design Panel will consider the merit of any variation to the Design Guidelines. Landowners and purchasers contemplating a variation to elements of the Design Guidelines are encouraged to discuss their plans with the Lakeside Design Panel first.



A variation to the Design Guidelines will only be considered provided the variation:

- is minor in nature,
- satisfies the objectives of the Design Guidelines,
- does not adversely affect the quality of the streetscape,
- does not adversely affect the amenity of neighbours, and
- does not establish an undesirable precedent.

Any variation to the Design Guidelines must be clearly shown on the plans submitted for approval.

All purchasers and owners of lots must have their plans approved by the Lakeside Design Panel whose approval may be withheld in its absolute discretion notwithstanding compliance with the Design Guidelines.

Only those plans and variations approved by the Lakeside Design Panel

will be able to be considered and determined by the Building Surveyor.

Construction of houses, fences, and garages on any lot at Lakeside cannot commence until the Lakeside Design Panel has approved plans and building approval has been issued.

Purchasers agree to absolve and release the Developer from any liability for actions taken in connection with the Design Guidelines.

Please refer to Section 8 "Design Panel Approval" for details of plans and information to be submitted.

If your plans meet the Design Guidelines, the Lakeside Design Panel will endeavour to approve your plans within 10 business days.

As required in your Contract of Sale, house construction must commence within 12 months of settlement and be completed within 24 months of settlement.

Building Regulations

The Lakeside Design Guidelines do not take the place of the Building Regulations. Purchasers (or their selected builder) of lots at Lakeside should contact their Building Surveyor to ensure house designs comply with any such requirements.

Only a Registered Building Surveyor can issue a building approval and such approval cannot be granted until the Lakeside Design Panel has approved the plans.



02

Lot classification



Image supplied by Dennis Family Homes

2.1 LOTS WITH BUILDING ENVELOPES

Building envelopes set design parameters for development on an allotment.

All lots in Lakeside are affected by a Building Envelope Plan. Details of the building envelopes are contained within the Plan of Subdivision.

Development of lots must be in accordance with the Building Envelope Plan.

2.2 BUSHFIRE ATTACK LEVEL (BAL) LOTS

Bushfire Prone Areas are areas that are subject to or likely to be subject to bushfires. The State Government has determined that specific areas are designated Bushfire Prone Areas for the purposes of the building control system.

A minimum construction standard applies to new residential buildings in designated Bushfire Prone Areas.

A Bushfire Attack Level (BAL) is a way of measuring the severity of a building's potential exposure to ember attack, radiant heat and direct flame contact.

Lots in Lakeside may be included within a Bushfire Prone Area under the Building Act 1993 and hence subject to a BAL assessment.

Owners and builders should consult their building surveyor to determine what level, if any, BAL applies.

03

Urban design principles

3.1 NUMBER OF DWELLINGS PER LOT

Only one dwelling per lot is permitted on land in Lakeside. Further subdivision is prohibited.

Front Facade – the Principal Street Frontage

For lots with only one street frontage, the principal street frontage shall be that frontage. For lots with two street frontages, the shorter street frontage shall be the principal street frontage and the other street frontage the secondary street.

If the two street frontages are of equal length, then the purchaser should contact the Lakeside Design Panel to determine which street frontage will be designated the principal street frontage for the purposes of the Design Guidelines.

3.2 FRONT FACADE

The front facade of the home is a key element that contributes to the delivery of Lakeside as a premium housing precinct and accordingly, must demonstrate careful design and material composition.

The main entry of the house must address the principal street frontage.

Facades of houses must be articulated. This can be achieved in a variety of ways including stepping back elements of the facade, the inclusion of bay windows and balconies, verandahs and porches and through the incorporation of architectural elements.

The front facade of the home must comprise at least two different materials. Any one material cannot comprise more than 70% of the area of the front facade. The use of render of different colours will not be deemed to satisfy this requirement.

Feature elements to the front facade are encouraged.

The front facade of the home must incorporate eaves of a depth of at least 0.45 metres which must wrap around corners by a minimum of 3.0 metres. Refer to Section 3.4, Building Setbacks Rear and Side Boundaries for further clarification regarding eave encroachments into side and rear setbacks.

The front facade of your home must incorporate a verandah, entrance portico or covered porch as follows:

- Minimum verandah size of 6m² with a minimum depth of 1.5m.
- Minimum portico or porch size of 4m² with a minimum dimension of 1.5m (excluding the entry recess).
- Verandah posts must have a minimum dimension of 100mm x 100mm.

Features which may detract from the appearance of a house from the street, including blank walls, small windows, obscure and tinted glass or reflective, frosted or patterned film, window security shields, canvas and metal awnings, will not be approved.

Elevations visible from the principal street or secondary street frontage must not have lightweight materials (i.e. fibre cement sheeting, painted beams) or similar above windows, doors, garages or openings.

Roof designs that present a gable end to the principal street frontage will not be approved unless part of an entrance portico, feature or exceptional architectural design.

Roller doors are not acceptable for front garage facades.

03

Urban design principles

3.3 DUPLICATION OF FRONT FACADE IN THE STREETScape

A dwelling must not have a front facade design that is the same or very similar to that of a home within three (3) lots either side or on the opposite side of the street. See Diagram 1.

Early contact with the Lakeside Design Panel is recommended to discuss house plans. Where a conflict arises preference will be given to the first submitted and approved set of plans.

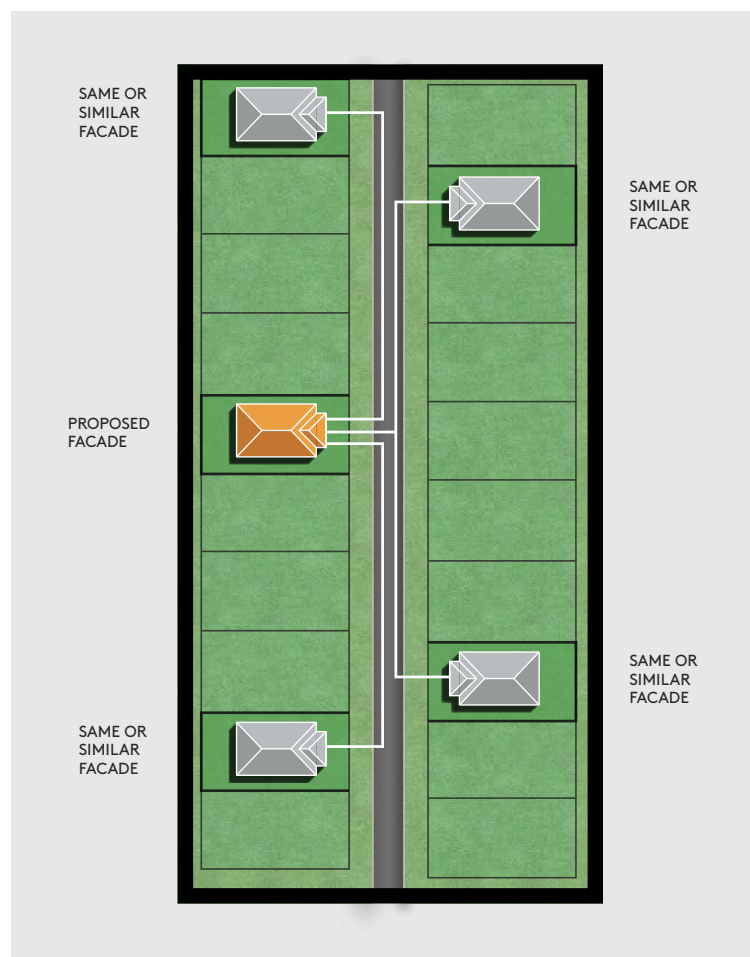


Diagram 1. Dwellings must not be of the same or very similar within 3 lots of the orange house (either side or on the opposite side of the street).

3.4 BUILDING SETBACKS

Building setbacks vary and must comply with the Building Envelope Plan.

Front Setback

Unless otherwise shown on a Building Envelope Plan, a minimum setback of 4.0 metre is required between the front building line of the house and the principal street frontage. Balconies; bay windows; eaves; fascia; gutters; porticos; verandahs; pergolas; porches; decks, steps and landings less than 800mm in height; and feature architectural elements approved by the Lakeside Design Panel will be permitted to encroach up to 1.5 metre within the front setback.

The maximum setback between the building line of the house and the principal street frontage is 6 metre.

On Corner Lots, a minimum setback of 4.0 metre is required to the principal street frontage. A minimum 2.0 metre setback to the side street applies (secondary street frontage) unless shown otherwise on the Building Envelope Plan.

Refer to Section 5.1 for setback requirements for garages.

Rear and Side Boundaries

A minimum setback of 1.0 metre is required for one side wall on all properties, unless otherwise specified on the Building Envelope Plan.

Garage and other walls which are not directly on a boundary are to be set back a minimum of 1.0 metre. Walls on boundaries are encouraged for garages in order to maximize the front garden area.

A house must be setback a minimum of 2.5 metre from the rear boundary, unless otherwise specified on the Building Envelope Plan.

Sun blinds, shade sails, verandahs, porches, porticos, pergolas, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic water tanks, and heating or cooling equipment or other services may encroach up to 0.5 metre into the side and/or the rear setbacks.

Eaves, fascias and gutters encroaching beyond 0.5 metre into the side and the rear setbacks can be submitted for consideration by the Lakeside Design Panel.

Landings, having an area of not more than 2 square metre and less than 1 metre height, stairways and ramps may encroach into the side and rear setback by up to 0.5 metre.

At all times any limitations associated with easements located within the lot as well as the requirements of any party gaining the benefit of the easement is to be met.



03

Urban design principles

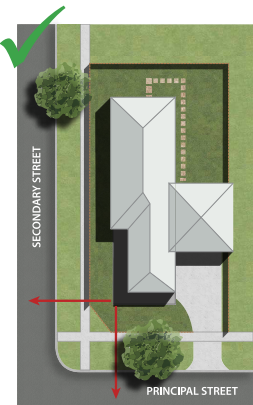


Diagram 2. Designed for a stepped facade.

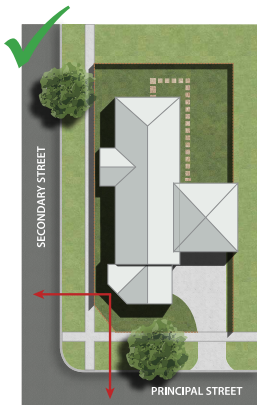


Diagram 3. Angled and corner bay windows help address both street frontages.

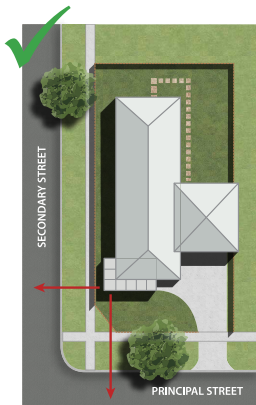


Diagram 4. Wrap around Verandah.

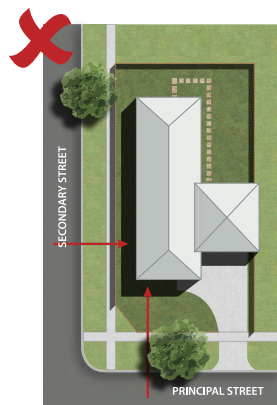


Diagram 5. Flat facade does not address principal frontage.



3.5 CORNER LOTS

House facades on Corner Lots, as defined in the Building Envelope Plan, must be designed to address both the principal street and secondary frontages including, roads, reserves or public open space. The use of consistent architectural elements across these facades will be required.

Architectural elements used in the front facade must be replicated within the first three (3) metres of the secondary street frontage. The use of verandahs, porticos, feature windows and other design features that complement the front elevation will be required. Other alternative treatments can be submitted for consideration by the Lakeside Design Panel.

Eaves are required for the full length of the building addressing the secondary frontage.

Flat facades and blank brick walls must be avoided. Houses which do not satisfactorily address both principal and secondary frontages will not be approved by the Lakeside Design Panel. Diagrams 2 to 5 provide examples to illustrate appropriate and inappropriate corner allotment houses.

Two storey homes on Corner Lots must have all upstairs windows facing the secondary frontage to complement the front windows with consideration of horizontal and vertical alignment. Blank walls to the secondary frontage are not permitted.

External services must not be visible from a street or public space.

If in doubt about whether your house design will comply with Corner Lot requirements, it is strongly recommended that you submit a preliminary design to the Lakeside Design Panel for advice.

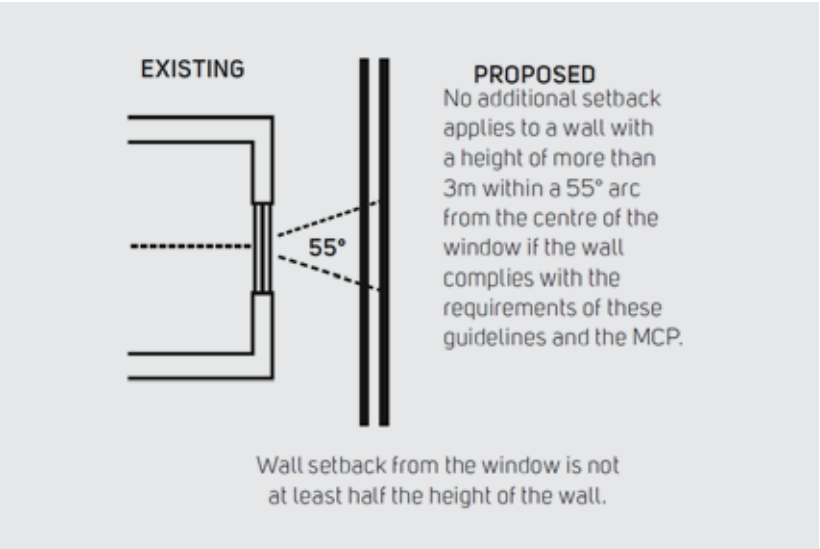


Diagram 6.

3.6 DAYLIGHT TO EXISTING HABITABLE ROOM WINDOWS

Provided that the wall complies with the requirements of these Guidelines and the MCP, a wall that exceeds 3.0 metres in height can be located opposite a Habitable Room window even though the setback from the window is not at least half the height of the wall if the wall is within the proximity as shown in Diagram 6.

3.7 CEILING HEIGHT

The ceiling height of all single storey dwellings must be a minimum of 2.7m above floor level.

3.8 ROOF PITCH

A minimum roof pitch of 25 degrees is required for single storey houses and associated garages.

A minimum roof pitch of 22.5 degrees is required for two storey houses and associated garages.

A reduced roof pitch will only be considered when part of an appropriate architectural design.

3.9 EXTERNAL FIXTURES

The position of external fixtures must be located to minimise their visual impact from the street or public space, and be shown on the house and site plans submitted to the Lakeside Design Panel for approval.

Meter boxes must be located to minimise their visual impact.

Waste pipes and vents must be concealed within wall cavities on two storey dwellings. Exposed plumbing on single storey dwellings must be of a colour which complements the house and must be screened to at least 1.8m in height (i.e. behind wing fence).

Roll Down Security Shutters

Roll down security shutters are not permitted.

03

Urban design principles

Clotheslines and Garden Sheds

Clotheslines and garden sheds must not be visible from the street.

Roof Mounted Solar Hot Water

These panels must not be mounted facing the principal street frontage. However, on Corner Lots, panels may be located on the roof facing the secondary street frontage. Storage tanks must not be visible from the street or public space.

Solar pool heating and associated plumbing must not be visible from the street, or public space.

Photo-Voltaic Panels

Photo-voltaic solar panels must not be visible from the street unless it is required for orientation and efficiency purposes, in which case they must be located in the most unobtrusive of available locations.

External Hot Water Services and Ducted Heating Units

These units must not be visible from the street.

Television Antennae and Satellite Dishes

Television antennae must be located within the roof space of the house. Homes with powder coated metal roof may have external antenna mounted to the rear of the house. Antenna must not be visible from the street.

Satellite dishes must be located to minimise visual impact and must not be visible from the street.

Air-Conditioning and Evaporative Cooling Units

Air-conditioners must be located below the eaves line, screened from public view and be suitably baffled to reduce noise.

Evaporative air-conditioners must be; located below the roof ridgeline and at the rear of the house; be of low profile and of a colour to match the roof colour.

Rainwater Tanks

Rainwater tanks must not be visible from the street and the material and colour must complement the house.

Garbage Bins

Garbage bin storage is to be provided for each dwelling out of public view.

3.10 FENCING

Front Fences

No front fence is permitted.

Side and Rear Fences

Fences require approval from the Lakeside Design Panel. All proposed fencing must be shown on the plans submitted for approval.

Where fencing adjoins a park or open space reserve or is designated as Feature Fencing, the fencing cost is shared equally with the Developer, otherwise all fencing costs are the responsibility of lot owners.

Unless otherwise specified, all side and rear fences must be timber paling, capped and lapped and cannot exceed 1.98 metres in height as shown in Image 4.

Image 4. Side and rear fencing.



Corner Lot Fences

On Corner Lots, the fence along the secondary frontage must be setback from the building line at that boundary by a minimum of 3.0m. This fence must conceal any hot water unit, heating, air conditioning, clothesline or other plant and equipment.

Unless otherwise specified in the Building Envelope Plan all fences along the secondary frontage of Corner Lots must be Feature Fencing.

Feature Fences must be 70mm wide timber pickets (posts and rails to residential side), capped and stained with 150mm plinth board. Feature Fences cannot exceed 1.98m in height.

The Developer will facilitate the construction of Feature Fencing to Corner Lots. Lot owners cannot remove or change the appearance of these fences without the written approval of the Lakeside Design Panel. Lot owners will be responsible for maintaining these fences in good order.

Wing Fences

A Wing Fence is the fence between the lot boundary returning at 90° to connect with the side of the house, as depicted in Diagram 7. Wing Fences cannot exceed 1.98m in height.

Wing Fences between adjoining lots must be setback at least 1.0m from the building line at that boundary. Refer to

Corner Lot Fences for specific setback requirements for Corner Lots.

Wing fencing and gates must be predominantly of timber material and match the height of the side fence. Alternate fence designs that complement the style and character of the house will be considered on its merits.

Wing Fences to the secondary street frontage of Corner Lots are not to extend above the adjoining Feature Fence, but may be tapered as shown in Diagram 8. The minimum length of taper is 0.75m.

Diagram 7. Wing fence.

Minimum 1.0m setback from the building line.

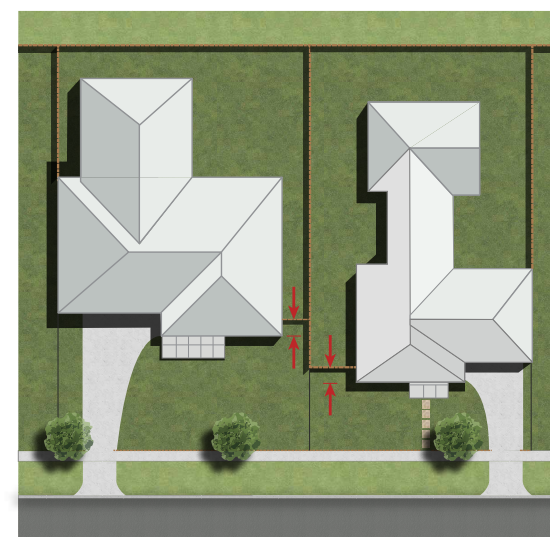
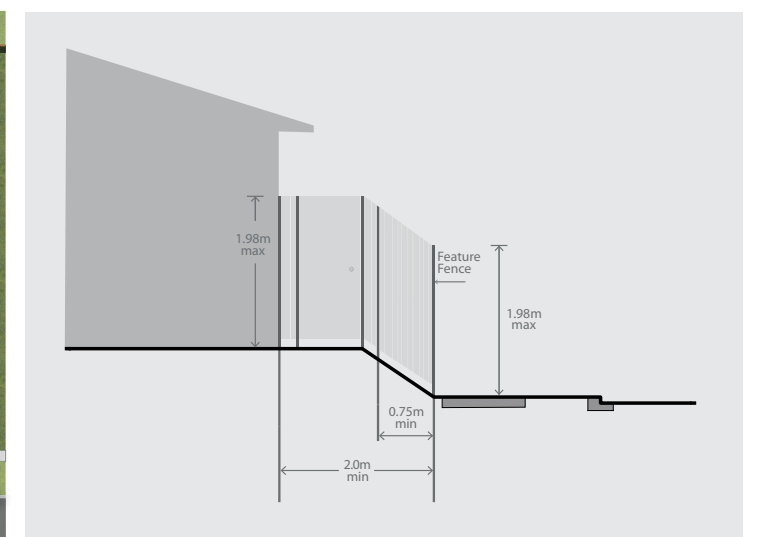


Diagram 8. Tapered wing fence.

Wing fences on secondary street not to extend above the Feature Fence.





04

Colours & materials

4.1 GENERAL

The materials and colours of the external walls and roofs of houses will have a major impact on the visual quality of Lakeside.

The preferred colour palette for use at Lakeside is earth tones. Vibrant colours are not permitted for use in the body of the home. Vibrant colours used to accentuate architectural elements will be considered by the Lakeside Design Panel.

Trim colours must complement the main body of the house.

Darker roofs are preferred.

Walls of houses must be predominantly constructed of face brickwork, render, or natural stone. Other materials may be considered by the Lakeside Design Panel.

Special emphasis must be placed on the elevations that address streets and public spaces, for example feature panels, rendered finishes etc.

Roof materials must be a matte finish, shingle style or low profile cement or terracotta tile, slate, or matte finish powder coated metal. Galvanised steel roof, coved or shaped tiles will not be permitted. See images 5 and 6.

Garage doors are a major visual element of the streetscape. Accordingly, garage doors facing the street are required to be panel lift or sectional, of slim-line profile and must be of a material and colour which complement the house.

House plans submitted to the Lakeside Design Panel must include a schedule of wall, trim and roof materials and colours. The Australian Standard Reference Number for the colour selected must be included for identification.

Image 5.



Image 6.



05

Vehicle storage



Image 7.



Image 8.

5.1 GARAGES

Each dwelling must have a garage. Carports are not permitted.

Garages must be set back a minimum of 5.5 metres from the principal street frontage.

In addition garages must be set back a minimum of 500mm from the front building line of the home. The front building line does not include portico, verandah, or feature projections.

Garages are encouraged to be constructed under the main roof of the house. If they are freestanding and visible from the street, they must match the roof form and materials of the house.

5.2 ON-SITE CAR PARKING

Two on-site, under-cover parking spaces must be provided.

When designing garages, consideration must be given to the screening of boats, caravans and trailers and for drive-through access to the rear yard.

The maximum total width of garage doors (whether single or multiple doors) facing the street is 46% of the width of the frontage up to a maximum of 6.0 metres provided that the Lakeside Design Panel, in its absolute discretion, determines that the facade of the building has been adequately articulated so as to diminish the impact of the garage door on the streetscape. For lots less

than 10.5 metres wide, the garage door cannot exceed 40% of the width of the lot.

Triple garages are only permitted on lots with a minimum 18m frontage subject to approval of the Lakeside Design Panel in its absolute discretion. There must be an additional 500mm setback to the third garage and associated roof form.

The parking of commercial vehicles including utility trucks and vans are to be accommodated within the garage and must not be visible from the street.

The parking of recreational vehicles and trailers must not be visible from the street.



05

Vehicle storage

5.3 ACCESS AND DRIVEWAYS

Only one driveway will be permitted for each lot.

Driveways and footpaths are a major visual element in the built environment at Lakeside and therefore the colour and texture of the paving material should be carefully selected to complement the main colour of the house.

Approved finishes include:

- exposed aggregate concrete finishes, and
- coloured or patterned concrete with feature inserts.

Plain uncoloured concrete is not permitted.

Driveways must not be wider than 3.5 metres at the street boundary of a lot, and a 0.5m planting buffer between the driveway and side property boundary is required. Driveways must be shown on the plans submitted for approval.

All driveways must be constructed prior to occupancy. You must ensure all required conduits (for irrigation connection, NBN etc) are installed under the driveway prior to construction.

Changes to the position of crossovers require approval of the Lakeside Design Panel (whose approval can be withheld in its absolute discretion) and the relevant authorities. An unconditional contract must be signed before a crossover relocation request will be considered.

A relocated crossover must be paid for by the purchaser or landowner, who must also meet the cost of removing the existing crossover and reinstating the affected area (including landscaping).

06

General



6.1 RECYCLED WATER

City West Water has advised that recycled water is available in Lakeside. Connection to the recycled water infrastructure (eg purple pipe) is a requirement of City West Water.

6.2 PROVISION OF TELECOMMUNICATIONS SERVICES

The infrastructure for telecommunications within the estate is to be provided by the Developer in accordance with the requirements that NBN Co places on new developments currently described in New Developments: Deployment of the NBN Co Conduit and Pit Network – Guidelines for Developers, or such Guidelines as varied by the NBN Co from time to time.

Please note that this specifically excludes:

- The installation of the fibre optic cabling (installed by NBN Co.)
- The connections required for your house lot (installed by your service provider), and
- The operation of the fibre optic network.

It is important to ensure that your home will be capable of connecting to the service provider.

To do this you will need to confirm that your home builder and the service provider have agreed on how such services are to be provided. This will require a wiring configuration which is consistent with these services and which may require a dedicated power supply for the telecommunications equipment.

6.3 RETAINING WALLS

Retaining walls should make a positive visual contribution to the streetscape. Their design should provide a safe environment for both cars and pedestrians accessing the allotment and using the street.

To minimise the overall height and bulk of retaining walls, they must not exceed 1.0m in height unless they are terraced to allow for landscaping. A planted strip of a minimum width of 500mm is to be provided between each terraced wall.

Concrete or timber sleeper retaining walls are not permitted where their height exceeds 200mm and are visible from the street or public space. Materials permitted include bricks, rendered masonry and feature stone.

Retaining walls on the secondary frontage with a fence constructed above are not permitted.





06

General



6.4 LETTERBOXES

The design of letterboxes is to be consistent with, and complement, the design, style, materials and colours of the house.

Temporary, ornamental and timber paling letterboxes will not be permitted.

Letterboxes must be positioned on the front boundary adjacent to the driveway with the house number clearly displayed.

The location, style and colour of the letterbox must be provided on the plans for approval.

6.3 MAINTENANCE

The City of Wyndham Community Amenity Local Law (2015) requires owners to maintain their vacant lot in a safe and tidy condition.

Vacant lots within Lakeside must be regularly maintained. This includes but is not limited to the following:

- Mowing of grass including nature strips/verges, including secondary street frontage for corner allotments;
- Removal of litter, rubbish and other debris.



Image 9.

07

Landscaping

7.1 FRONT GARDENS

Given the premium nature of Lakeside there is a strong emphasis on the quality of front garden landscaping. The objective of the front garden landscaping is to enhance the positive impact your home will have on the streetscape by maintaining a cohesive character with the surrounding street and parkland landscaping.

Landscaping of the front garden including the planting of lawn, trees and shrubs and the formation of garden beds should be established within 6 months of the issuing of the Certificate of Occupancy, however, as a general rule, construction of the garden should not be undertaken during the summer months.

It is recommended that advice is sought from your local landscaper or nursery when establishing your garden.

7.2 GENERAL GUIDELINES

Prior to the installation of your front garden, it is recommended you have completed the following:

- The construction of the house (including driveway) in accordance with the approved plans
- All rubbish, rubble, weeds and vegetation etc. have been removed
- A suitable grade has been provided across all areas to be landscaped, including completion of compliant retaining walls
- A 90mm PVC stormwater pipe has been installed under the driveway, offset 1m from the front title boundary (for irrigation connection)
- The letterbox, as specified in Section 6.4, is installed prior to the installation of the garden

Front Garden designs should incorporate:

- a minimum of 50% permeable surfaces including grass, granitic gravel surfaces and mulched garden beds. The design should encourage rain water to infiltrate into the garden rather than draining out to the stormwater system;
- two advanced trees with a mature height of 3m tall, and an assortment of drought tolerant shrubs and ground covers. However, no tree or shrub with a mature height being greater than 3.0 metres should be planted closer than 2.0 metres to the house;
- a landscaped buffer strip between the driveway and side boundary;

The Wyndham Council Beautification of Nature Strips Policy, 2008, requires residents of abutting properties to maintain nature strips by regularly mowing, edging turf, weeding and picking up litter.

No vehicles are permitted to drive or be parked on nature strips at any time. After construction is complete, no commercial vehicles, caravans, trailers or watercraft are permitted to be parked or stored forward of the building line.





07

Landscaping

08

Design panel approval

SUGGESTED PLANT LIST

Trees	Tall/Medium Shrubs
Yellow Gum Cultivar (Eucalyptus Leucoxyton ‘Rosea’)	Little John Bottle brush (Callistemon viminalis ‘Little John’)
Crepe Myrtle (Lagerstroemia Indica)	River Wattle (Acacia cognata ‘Green mist’)
Silver Princess (Eucalyptus Caesia ‘Silver Princess’)	Pygmy Possum (Banksia serrata ‘Pygmy Possum’)
White Cedar (Melia Azedarach)	Native Rosemary (Westringea fruticosa)
Jacarandah (Jacarandah Mimosifolia)	New Zealand Flax (Phormium tenax ‘Bronze Baby’)
Coast Banksia (Banksia Marginata)	White Correa (Correa alba)
Flowering Gum (Acacia Iplexa)	Mexican Orange Blossom (Choisya ternata)
White Cedar (Melia Azedarach)	Silver Cushion Bush (Leucophyta brownii)
Golden Rain Tree (Koelreuteria Paniculata)	Sticky Wattle (Acacia howittii)
Small Shrubs/Groundcovers	Correa Dusky Bells (Correa ‘Dusky Bells’)
Tussock Grass (Poa Labillardieri ‘Eskdale’)	Mediterranean spurge (Euphorbia wulfenii)
Kangaroo Grass (Themeda Australis ‘Mingo’)	Pride of Madeira (Echium candicans)
Swamp Foxtail Grass (Pennisetum Alopecuroides ‘Purple Lea’)	Hedge Wattle (Pittosporum tobira ‘Miss Muffet’)
Coast Tussock (Poa Poiformis)	Wulfen’s Spurge (Euphorbia wulfenii)
Lilyturf (Liriope Muscari)	Red Sensation (Cordylina ‘Red Sensation’)
Flax Lilly (Dianella Tasmanica ‘Blaze’)	Lavender (Lavender x intermedia ‘Grosso’)
Dianella Little Jess (Dianella Revoluta ‘Little Jess’)	Pink Cascade (Leptospermum ‘Pink Cascade’)
Blue Chalksticks (Senecio Serpens)	Lavender (Lavender x intermedia ‘Grosso’)
Purple Aeonium (Aeonium Arboreum ‘Atropurpureum’)	Pink Cascade (Leptospermum ‘Pink Cascade’)
Pig’s Ear (Cotyledon Orbiculata)	Lawn
Pigface (Carpobrotus Glaucescens)	Sir Walter Buffalo
Dianella Little Jess (Dianella Revoluta ‘Little Jess’)	
Spiny-Head Mat-Rush (Lomandra Longifolia)	

8.1 GUIDELINES CHECKLIST

The Lakeside Design Panel welcomes enquiries about the Guidelines, and encourages you to discuss your preliminary plans to avoid unnecessary delay due to non-compliance with, or variations to, the Guidelines.

The Lakeside Design Panel can provide advice about siting, appropriate materials and colours for your house, and will help you finalise your plans so that they meet the Guidelines or acceptable variations to them.

All house plans at Lakeside require approval from the Lakeside Design Panel.

The Following Plans And Information Are Required:

- Application Form and Checklist
- Site plan, showing:
 - House and garage footprint
 - Building envelope
 - Dimensioned setbacks from all boundaries
 - Driveway and path location, material and colour
 - Fencing location, material, height
 - Garden areas
- Floor plan/s with all dimensions
- All elevations
- Sections
- Details of external elements (i.e. garage wall on boundary details)
- Schedule of materials and colours

Other Features To Be Shown:

- Details of any cut and fill proposed to create the building platform and driveway, final levels and any retaining walls proposed.
- The location of external fixtures:
 - satellite dishes
 - clothesline
 - garden shed(s)
 - solar water heater, hot water service, ducted heating unit
 - TV antenna
 - air conditioner/evaporative cooler
 - photovoltaic cells
 - rainwater tanks

Application documents must be emailed to

designpanel@denniscorp.com.au

If unable to email, two (2) sets of plans, two (2) sets of material and colour schedules & two (2) sets of checklists must be forwarded to:

Lakeside Design Panel
Dennis Family Corporation
211 Waverley Road
Malvern East VIC 3145

If your plans meet the Guidelines the Lakeside Design Panel will endeavour to approve your plans within 10 business days. Additionally, building approval will be required from a Registered Building Surveyor.





08

Design panel approval

8.2 LAKESIDE DESIGN PANEL APPROVAL APPLICATION FORM

The following application form is provided to assist in ensuring that your house plans comply with the Guidelines and any variations are clearly identified for consideration by the Lakeside Design Panel.

The Application Form is also available to download online at www.manorlakes.com.au

Complete and attach this form and checklist to your application and forward to the Lakeside Design Panel.

LAKESIDE Allotment Details

Lot Number _____
Street _____

Owner Details

Full Name _____
Mailing Address _____

Phone BH _____
Mobile _____
Email _____

Builders Details

Contact Name _____
Company _____
Mailing Address _____

Phone _____
Email _____

Design Details

House Type _____
Facade Type _____

I/We certify that the information in the attached application is a true and accurate representation of the home I/We intend to construct. In the event that changes are made to the proposed plans, I/We undertake to resubmit this application for approval of such changes.

Signed _____
Name in Print _____
Date _____

LOT CLASSIFICATION

YES NO

Lots with Building Envelope

Is the proposed house sited within the building envelope? ☐ ☐

BAL lots

Have the BAL requirements been taken into consideration in the proposed house design? ☐ ☐

URBAN DESIGN PRINCIPLES

Is only one dwelling proposed for the lot? ☐ ☐

FRONT FACADES REQUIREMENTS IN THE STREETScape

Is the facade design different from those within three adjoining lots?	<input type="checkbox"/>	<input type="checkbox"/>
Does the main entry address the principal street frontage?	<input type="checkbox"/>	<input type="checkbox"/>
Is the front facade articulated?	<input type="checkbox"/>	<input type="checkbox"/>
Is the "two material" requirement on the front facade achieved?	<input type="checkbox"/>	<input type="checkbox"/>
Are 450 mm eaves incorporated into the front facade and wrap around the other corners by 3 metres?	<input type="checkbox"/>	<input type="checkbox"/>
Does the front facade incorporate a compliant veranda, entrance portico or covered porch?	<input type="checkbox"/>	<input type="checkbox"/>
Is the requirement for no lightweight infill panels over the front facade windows and garage doors achieved?	<input type="checkbox"/>	<input type="checkbox"/>
Is there special emphasis on the elevations that address the streets and public spaces?	<input type="checkbox"/>	<input type="checkbox"/>
Is the roof design compliant?	<input type="checkbox"/>	<input type="checkbox"/>
Is the garage door panel lift or sectional?	<input type="checkbox"/>	<input type="checkbox"/>





08

Design panel approval

HOUSE SETBACKS FROM FRONT, SIDE AND REAR

YES NO

Is the required minimum setback from the principal street frontage achieved?	<input type="checkbox"/>	<input type="checkbox"/>
Is the setback from the principal street frontage less than the maximum 6 metres allowable?	<input type="checkbox"/>	<input type="checkbox"/>
Is the 1 metre setback from the side boundary achieved?	<input type="checkbox"/>	<input type="checkbox"/>
Is the zero lot line wall directly on the boundary, i.e 0m setback?	<input type="checkbox"/>	<input type="checkbox"/>
Is the required setback from the rear boundary achieved?	<input type="checkbox"/>	<input type="checkbox"/>
Does a portico, bay window, feature pier, balcony and other allowable elements sit within the allowable encroachments?	<input type="checkbox"/>	<input type="checkbox"/>
Are there any easements that are impacted by encroachments?	<input type="checkbox"/>	<input type="checkbox"/>

CORNER LOTS

Is the lot designated a Corner Lot? (If No, proceed to next section.)	<input type="checkbox"/>	<input type="checkbox"/>
Does the facade of the house address both principal and secondary frontages?	<input type="checkbox"/>	<input type="checkbox"/>
Is the minimum 2 metre setback from the secondary street frontage achieved?	<input type="checkbox"/>	<input type="checkbox"/>
Are the architectural elements used in the main facade replicated on the second frontage for the required length?	<input type="checkbox"/>	<input type="checkbox"/>
Are the eaves incorporated along the full length of the secondary frontage?	<input type="checkbox"/>	<input type="checkbox"/>
For two storey homes does the upstairs facade compliment the downstairs facade?	<input type="checkbox"/>	<input type="checkbox"/>
Are external services concealed from view?	<input type="checkbox"/>	<input type="checkbox"/>

HABITABLE ROOM WINDOWS

Does the house design consider walls opposite habitable room windows?	<input type="checkbox"/>	<input type="checkbox"/>
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CEILING HEIGHT

Is the ceiling height of 2.7m achieved for single storey homes?	<input type="checkbox"/>	<input type="checkbox"/>
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ROOF PITCH

YES NO

Is the roof pitch of 25 degrees achieved for a single storey house or 22.5 degrees for a two storey house?	<input type="checkbox"/>	<input type="checkbox"/>
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EXTERNAL FEATURES

Is the requirement that all external fixtures are located to minimise their visual impact from the street or public space achieved?	<input type="checkbox"/>	<input type="checkbox"/>
Are the meter boxes located to minimise their visual impact?	<input type="checkbox"/>	<input type="checkbox"/>
Are any hot water unit, heating, air conditioning or other plant and equipment concealed by the side fence?	<input type="checkbox"/>	<input type="checkbox"/>
Is the requirement for no roller shutters achieved?	<input type="checkbox"/>	<input type="checkbox"/>
For two storey homes are all waste pipes and vents concealed?	<input type="checkbox"/>	<input type="checkbox"/>
Is the exposed plumbing on single storey homes a complementary colour and screened?	<input type="checkbox"/>	<input type="checkbox"/>

FENCES

Is the requirement for no front fence achieved?	<input type="checkbox"/>	<input type="checkbox"/>
Is the rear and side fencing timber, paling, capped and lapped to a maximum height of 1.98 metres?	<input type="checkbox"/>	<input type="checkbox"/>
Does the fence finish 1 metre behind the building line of the house?	<input type="checkbox"/>	<input type="checkbox"/>
Do the side wing fencing and gates complement the style and character of the house?	<input type="checkbox"/>	<input type="checkbox"/>
Is the lot designated a Corner Lot? (If No, proceed to next section.)	<input type="checkbox"/>	<input type="checkbox"/>
Does the Corner Lot fence finish 3 metre behind the building line of the house?	<input type="checkbox"/>	<input type="checkbox"/>
Is the fencing to the secondary frontage specified as Feature Fencing?	<input type="checkbox"/>	<input type="checkbox"/>





08

Design panel approval

COLOURS AND MATERIALS

YES NO

Does the schedule of materials and colours show the details for the following items?	<input type="checkbox"/>	<input type="checkbox"/>
Gutter/Downpipes/Barge/Barge Capping?	<input type="checkbox"/>	<input type="checkbox"/>
Garage Door?	<input type="checkbox"/>	<input type="checkbox"/>
Front Door?	<input type="checkbox"/>	<input type="checkbox"/>
Render?	<input type="checkbox"/>	<input type="checkbox"/>
Other Facade feature elements eg. feature beams, stone stacks etc?	<input type="checkbox"/>	<input type="checkbox"/>
Driveways and Paths?	<input type="checkbox"/>	<input type="checkbox"/>
Meter box?	<input type="checkbox"/>	<input type="checkbox"/>
Roof mounted elements?	<input type="checkbox"/>	<input type="checkbox"/>
Hot Water Services/Ducted Heating/Air Conditioning Condensers/Water Tanks?	<input type="checkbox"/>	<input type="checkbox"/>
Are the Australian Standard Reference Numbers for the colours selected provided?	<input type="checkbox"/>	<input type="checkbox"/>

Walls

Is the requirement for no vibrant colours in the body of the of the home achieved?	<input type="checkbox"/>	<input type="checkbox"/>
Do the trim colours compliment the main body of the house?	<input type="checkbox"/>	<input type="checkbox"/>

Roof

Are the roof materials matte finish, shingle style or low profile tiles or matte finish powder coated metal?	<input type="checkbox"/>	<input type="checkbox"/>
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PARKING YOUR CAR

Is the requirement for no carports achieved?	<input type="checkbox"/>	<input type="checkbox"/>
Is the garage setback 0.50 metres from the predominant building line of the house?	<input type="checkbox"/>	<input type="checkbox"/>
Is the garage setback a minimum of 5.5 metres from the principal street frontage?	<input type="checkbox"/>	<input type="checkbox"/>
Does the construction of the garage compliment that of the house?	<input type="checkbox"/>	<input type="checkbox"/>

ON-SITE CAR PARKING

Are two on-site undercover parking spaces provided?	<input type="checkbox"/>	<input type="checkbox"/>
Is the garage door width requirement met?	<input type="checkbox"/>	<input type="checkbox"/>
Is a triple garage proposed? (If No, proceed to next section.)	<input type="checkbox"/>	<input type="checkbox"/>
Is the minimum frontage width requirement achieved?	<input type="checkbox"/>	<input type="checkbox"/>
Is the requirement for further 0.50 metre setback to the third garage achieved?	<input type="checkbox"/>	<input type="checkbox"/>

ACCESS AND DRIVEWAYS

YES NO

Is the driveway and paths shown on the plans?	<input type="checkbox"/>	<input type="checkbox"/>
Is there only one driveway?	<input type="checkbox"/>	<input type="checkbox"/>
Is the driveway finish of an approved type and colour?	<input type="checkbox"/>	<input type="checkbox"/>
Is the driveway no wider than 3.5 metres at the street boundary?	<input type="checkbox"/>	<input type="checkbox"/>
Is there the required planting buffer between the driveway and property boundary?	<input type="checkbox"/>	<input type="checkbox"/>
Is a suitable irrigation conduit provided under the driveway?	<input type="checkbox"/>	<input type="checkbox"/>

PARKING OF COMMERCIAL VEHICLES

Is parking of a commercial vehicle required?	<input type="checkbox"/>	<input type="checkbox"/>
If yes, will it be accommodated within the garage and not visible from the street?	<input type="checkbox"/>	<input type="checkbox"/>

PARKING OF RECREATIONAL VEHICLES AND TRAILERS

Is parking of a recreational vehicle and trailer required?	<input type="checkbox"/>	<input type="checkbox"/>
If yes, will it be accommodated so it is not visible from the street?	<input type="checkbox"/>	<input type="checkbox"/>

RETAINING WALLS

Are retaining walls proposed to the front setback or secondary street frontage? (If No, proceed to next section.)	<input type="checkbox"/>	<input type="checkbox"/>
Is the location of retaining walls shown on the plans?	<input type="checkbox"/>	<input type="checkbox"/>
Are the retaining walls terraced, with required planting strip, if retaining greater than 1m in height?	<input type="checkbox"/>	<input type="checkbox"/>
Is the requirement that no timber or concrete sleeper retaining walls exceeding 200mm in height achieved?	<input type="checkbox"/>	<input type="checkbox"/>
Is the requirement that no retaining walls on the secondary frontage with fence constructed above achieved?	<input type="checkbox"/>	<input type="checkbox"/>

LETTERBOX

Is the location of the letterbox shown on the plans?	<input type="checkbox"/>	<input type="checkbox"/>
Does the style of the letterbox complement the house?	<input type="checkbox"/>	<input type="checkbox"/>



1300 334 524 YOURLAKESIDE.COM.AU



ANOTHER DENNIS
FAMILY COMMUNITY

Land Sales Office: 4 Baikal Crescent, Manor Lakes. Open 7 days 10am to 5pm.

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